

8 May 2025

s 9(2)(a)

Dear s 9(2)(a)

Thank you for your request dated 5 April 2025 requesting the following information:

I am wondering whether you can help me. I read that Kainga Ora brought transportable homes in from China to help with the housing crisis either 2023 or 2022.

I am wondering whether you can let me know what I would need to do to be able to do the same. What would the council require? Do you samples of plans etc that I would need to get etc.

On 8 April 2025 the Hamilton City Council transferred your request to Kāinga Ora – Homes and Communities and it was interpreted as a request under the Official Information Act 1982 (the Act).

Kāinga Ora has interpreted your request as referring to the 76 units delivered to Kāinga Ora by Tawera Group (<https://taweragroup.com/>) across several sites in Hamilton.

For your information, I have included a copy from the approved resource consent from one of these developments titled, 'Aileen land use decision.' Some information within this document has been withheld under section 9(2)(a) of the Act, to 'protect the privacy of natural persons...'

Kāinga Ora has also recently had 38 OSM units completed in Rotorua. 12 units completed by Ecotech Commercial Limited (<https://www.ecotechcommercial.com/>) were sourced from China, while an additional other 26 units in the development were delivered by the BuiltSmart, a Huntly-based company (<https://www.builtsmart.co.nz/>).

Regarding what is required for OSM homes, Kāinga Ora has Consentium for some of the required consenting work. However, it still engages with relevant local territorial authorities (councils) where its homes are built. Anyone looking at the option of an OSM home is encouraged to consult first with their Council and chosen building company to determine what consents and other work would be required before proceeding with planning and construction.

Where section 9 of the Act has been cited, I have considered the public interest in releasing this information; however, it has been determined that in each instance, the public interest is outweighed by the need to protect the privacy of the individuals in question.

You have the right to seek an investigation and review by the Ombudsman of this response. Information about how to make a complaint is available online at <https://www.ombudsman.parliament.nz> or by phone on 0800 802 602.

Please note that Kāinga Ora proactively releases our responses to official information requests where possible. Our response to your request may be published at <https://kaingaora.govt.nz/publications/official-information-requests/> with your personal information removed.

Yours sincerely

A handwritten signature in blue ink that reads "Rachel Kelly". The signature is written in a cursive, flowing style.

Rachel Kelly
Manager Government Services

27 October 2022

Kainga Ora - Homes & Communities
C/- Barker & Associates
PO Box 37
Whangarei 0140

Private Bag 30100
Hamilton 3240
New Zealand
TEL: 07 838 6699
FAX: 07 838 6595
EMAIL: info@hcc.govt.nz
hamilton.govt.nz

Attn: Alisa Neal
Your Ref: 18591-B

Decision on application for resource consent under the Resource Management Act 1991

Application number: 010.2022.00012312.001
Applicant: Kainga Ora - Homes & Communities
Address: s 9(2)(a) Aileen Place, Nawton, Hamilton 3200
Legal Description: Lots 63-67 DPS 36526
Proposed activity: Integrated Residential Development (IRD) - 2 Duplex Dwellings (4 Units) & 8 Apartment Units

I wish to advise you of Council's decision to **grant** your application for resource consent under the Resource Management Act 1991 (RMA). Please see below for the details of the decision and conditions of consent.

The following information provides you with some guidance on your rights and what to do next. It is recommended that you seek independent advice if you are in any doubt as to the processes to be followed.

Objections

If you disagree with any part of this decision or any conditions of this consent, you may lodge an objection in writing to Council within **15 working days** of the receipt of this letter. Your objection must be in accordance with section 357 of the RMA and must include the reasons for your objection.

Compliance with conditions

Your resource consent permits the land use to be established at the site long as the activity complies with the stated conditions on an ongoing basis. It is important that you fully understand and comply with all the conditions of your consent.

Please notify Council's monitoring team prior to the commencement of activities associated with this consent. The role of Council's monitoring team is to monitor compliance with the conditions of consent and may involve site visits.

Council's monitoring team can be contacted on planning.guidance@hcc.govt.nz. Please reference the consent number and address of the property when emailing or calling.

Lapsing of Consent

This resource consent lapses 5 years after the commencement of the consent, unless the consent is given effect to by the end of that period.

The commencement date of a resource consent is determined by section 116 of the Resource Management Act 1991.

DECISION ON APPLICATION

That pursuant to Sections 104 and 104C of the Resource Management Act 1991 and the Hamilton City Operative District Plan, Council **grants** resource consent to the application by Kainga Ora Homes & Communities (being Resource Consent 010.2022.00012312.001) for an Integrated Residential Development at s 9(2)(a) Aileen Place, Hamilton, being Lots 63-67 DPS 36526, subject to the following conditions:

Conditions

Under section 108 of the RMA this consent is subject to the following conditions:

General

1. That the development be in general accordance with the plans and the information submitted with the application on 30 June 2022, except where superseded by the updated information and plans provided on 16 August 2022, 03 and 05 October 2022 (approved plans attached).

Record of Titles

2. That prior to the construction works, the consent holder must provide evidence that that the underlying freehold records of title comprising the site are legally held together to the satisfaction of the Planning Guidance Unit Manager (or nominee).

Landscaping and screening

3. The fencing and landscaping and fencing of the site shall be in general accordance with the approved plans titled 'Landscape Package' prepared by Greenwood Associates, received on 30 June 2022 (approved plans attached). The landscape planting shall be implemented during the first planting season after construction works are completed and shall be completed prior to occupation of the units and be thereafter maintained by the consent holder(s).

Geotechnical

4. All building development on site must be specific engineer designed in accordance with the geotechnical report ('Geotechnical Investigation', prepared by ENGEO Limited (Dated 17/06/2022 – Ref: 19392.000.091)). Alternative foundation systems may be adopted subject to additional assessment and acceptance by Hamilton City Council Building Consent Authority.

Construction Management Plan

5. 20 working days prior to the commencement of any earthworks or construction activities onsite the Consent Holder must provide a Simple Construction Management Plan (CMP) to the Manager, Planning Guidance Unit (or nominee) for certification by the Manager, Strategic Development Unit (or nominee). The objective of the CMP is to outline the approach to be taken for the managing construction works to ensure that impacts that may arise from the works have been appropriately identified, managed and minimised.
6. The consent holder must carry out operations in general accordance with the provisions of the certified Construction Management Plan, and any subsequent changes. The Construction Management Plan (CMP) shall include but not limited to:
 - a. Details of the works, intended construction timetable (including staging) and hours of operation
 - b. Methods to control dust, debris on roads and silt laden runoff during construction
 - c. Existing network utilities
 - d. Anticipated truck movements and routes to and from the site during construction
 - e. Site access and management
 - f. Traffic Management Plan
 - g. Contact details for the contractor, including a process for complaints and remedying concerns
 - h. Adjacent landowner liaison during the construction stage
 - i. Quality assurance/quality control
7. Any changes to the Construction Management Plan must be made in accordance with the methodology and approved procedures in that plan shall be confirmed in writing by the Consent Holder following consultation with the Manager, Strategic Development Unit (or nominee) before implementation.

Construction Noise and Vibration

8. All construction work on the site, including demolition, earthworks, foundation work, concrete pours and piling, must be designed and conducted to ensure that construction noise from the site at approximately 1m from the most exposed façade of a building on any other site in a residential zone does not exceed the noise limits in the following table.

Time period	Monday to Friday		Saturdays		Sundays and Public Holidays	
	Leq (dBA)	Lmax (dBA)	Leq (dBA)	Lmax (dBA)	Leq (dBA)	Lmax (dBA)
06:30am to 07:30am	55	75	45	75	45	75
07:30am to 06:00pm	70	85	70	85	55	85

06:00pm to 08:00pm	65	80	45	75	45	75
08:00pm to 06:30am	45	75				

Note: The lower noise limits (shaded) mean that some construction work, particularly in relation to any concrete pours, piling and earthworks, may not be able to take place during the corresponding time frames, which includes all times on Sundays and public holidays.

9. *Construction vibration received by any building must comply with the provisions of and be measured and assessed in accordance with German Standard DIN 4150-3:1999 Structural Vibration - Effects of vibration on structures.*

Earthworks

10. *The Consent holder must ensure that all appropriate sediment and erosion control measures are adopted to minimise any sediment leaving the site and entering any waterway. The measures shall include: the erection of silt fence, stabilised entranceways, cut off drains and the connection of downpipes to the stormwater system as necessary. These sediment control measures should be erected and maintained on site for the duration of the works. Note: refer to Waikato Regional Council's "Erosion & Sediment Control, Guidelines for Soil Disturbing Activities" which can be found at <http://www.waikatoregion.govt.nz>.*
11. *Earthworks must not obstruct or divert any stormwater overland flow path or result in changed stormwater drainage patterns on adjacent land in different ownership.*
12. *All earthworks activities on site must be managed to avoid material deposits on public roads.*
13. *The activity must be conducted in such a manner so as to not create a dust nuisance. A dust nuisance will occur if:*
 - a) *There is visible evidence of suspended solids in the air beyond the site boundary; and/or*
 - b) *There is visible evidence of suspended solids traceable from a dust source settling on the ground, building or structure of a neighbouring site or water.*
14. *All areas of bare earth must be re-vegetated or re-grassed as soon as practicably possible and within three calendar months following the completion of earthworks. If this cannot be achieved the area shall be temporarily covered by a surface suitable to protect against soil erosion until such time as re-vegetation or re-grassing can occur.*

General Engineering

15. *The consent holder must submit engineering plans detailing service locations, proposed and existing vehicle crossing, pavement formation, existing and any proposed water, wastewater and stormwater connections/system and all relevant information including but not limited to design specifications, calculations, design certificates to the Planning Guidance Unit for review by General Manager, Development or nominee. The engineering design plans shall be*

amended by the Consent Holder as required until certified by General Manager, Development or nominee prior to any building consent application or construction works commencing onsite (including earthworks).

Note: At Council's discretion, specific designs may be subject to a Peer Review, organised by the Council at the applicant's cost.

- 16. All engineering works and designs must be in accordance with the Regional Infrastructure Technical Specifications (available from the internet at www.hcc.govt.nz).*
- 17. The consent holder must retain the services of a suitably qualified person (generally a professional land surveyor and/or engineer) to oversee the construction of any infrastructure required for the development. This person shall be responsible for ensuring adherence to approved construction plans, quality systems, and project completion requirements. The name and contact details of this person shall be nominated on all engineering plans submitted to the Strategic Development Unit.*
- 18. All works within the road corridor must be managed by a contractor operating under a current CAR (Corridor Access Request), made through the www.beforeudig.co.nz website) and appropriate traffic management. The Corridor Access Request shall be approved by the Road Controlling Authority prior to construction works commencing onsite.*

Roading

- 19. The proposed vehicle crossing shall be constructed to multi-dwelling standard in accordance with the Regional Infrastructure Technical Specifications, Drawing D3.3.5. The vehicle crossing shall be fully formed to the site boundary in the same material as the footpath.*
- 20. The access lot, parking and manoeuvring area shall be formed, drained and sealed, and thereafter maintained, in a permanent dust-free all-weather surface.*
- 21. All service relocation required to accommodate the new vehicle crossing shall be at the consent holder's expense. Details of all existing on road services shall be provided at engineering design stage.*
- 22. The construction of vehicle crossings shall not change the berm levels.*
- 23. The obsolete vehicle crossing(s) shall be removed, and the kerb and channel, footpath and berm reconstructed in accordance with the Regional Infrastructure Technical Specifications.*
- 24. On completion of site works any roadside damage shall be repaired, and the kerb, berm and footpath reinstated to match the surroundings. The reinstatement work shall not be carried out until all service trenching in the footpath has been completed and shall include the reinstatement of all trenches.*
- 25. The footpath and berm shall be kept clear during construction, or, if not practicable, may be temporarily closed along the site frontage. An application for Temporary Use of the Road Corridor can be obtained at no charge from City Transportation Unit at least 20 working days*

prior to any building consent application or construction works commencing onsite (including earthworks but excluding site investigations and enabling works).

Three Waters

19. *Service connections must be rationalised on site. Any private pipes and connections not required by the proposed development shall be appropriately disconnected to the satisfaction of the Strategic Development Unit Manager (or nominee). Removal of existing connections shall be done by Council at the consent holder's expense.*

Wastewater

20. *The site shall be provided with a wastewater connection, installed by Council to the site boundary and extended internally by a private contractor to provide separate connection to each residential dwelling/unit.*
21. *All building over or adjacent to the public wastewater main running through the site shall be designed and constructed in accordance with the requirements of Section 5.2.9 of the Regional Infrastructure Technical Specifications, Building Over or Adjacent to Pipelines.*

Water

22. *The site shall be provided with a water connection, installed by Council to the site boundary and extended internally by a private contractor to provide connection to the residential dwelling/to provide separate connection to each residential dwelling unit.*
23. *The site shall be provided with a new 63mm OD MDPE rider main with flushing point at the end, installed by Council to the site boundary at the cost of the Consent Holder and extended internally by a private contractor to provide a separate supply to each residential dwelling unit with tobies outside the respective building (see advisory note).*

Stormwater

24. *The stormwater management measure (detention) as outlined in the resource consent application shall be in place and fully operational upon the completion of the development to ensure quality and quantity effects are managed prior to discharge in accordance with the Regional Infrastructure Technical Specifications. The installation, maintenance and replacement of the stormwater management measure shall be the responsibility of the owners.*
25. *A copy of the operation and maintenance procedures for onsite stormwater management measures shall be submitted at engineering design stage.*
26. *All building over or adjacent to the public stormwater main running through the site shall be designed and constructed in accordance with the requirements of Section 4.2.9 of the Regional Infrastructure Technical Specifications, Building Over or Adjacent to Pipelines.*
27. *Stormwater secondary over land flow paths and ponding areas shall be shown on the engineering plans. The flow paths shall be provided for a storm having a 100-year ARI. The secondary over land flow paths shall be designed in accordance with the Regional Infrastructure Technical Specifications to accommodate the rainfall runoff in excess of the stormwater reticulation design capacity. The secondary over land flow path shall be*

maintained on an ongoing basis. Any alteration of the ground and building of any structure along the path that will obstruct the flow shall be prohibited.

28. *Low Flow Fixtures shall be installed in the residential units*

Reasons

Under Section 113 of the RMA the reasons for this decision are:

Character, Amenity, Design and Layout:

- a. The proposal provides for the efficient use of land for intensified residential development within the Residential Zone, wherein such patterns of development are anticipated and provided for.
- b. The variation of materials (brick, weatherboard, glass and metal roofing) and colours will create articulation and variety in building built form and also help break down the bulk of the buildings and provide visual interest to the area. Onsite amenities including permeable surfaces, outdoor living and service areas and parking spaces will be provided onsite. These areas break up the built form on the site and the permeable areas provide opportunity for landscaping to further enhance the amenity. Overall, approximately 48% will be in permeable surfaces including grass and planting which will help soften the development when viewed from the surrounding properties. All internal and external boundary fences have been designed to comply with the standards to protect the amenity of adjoining properties including building setback and fence height. Boundary fencing will have a maximum height of up to 1.8m, which will provide privacy for the adjoining properties and within the site.
- c. The low site coverage of the development and extensive open areas and landscaping proposed on the site will ensure the development does not negatively detract from the residential amenity and nature of the area. The compliance of the dwellings with the transport corridor setback and landscaping including trees and ground cover plans in these areas will enhance streetscape character and amenity. Functional outdoor living and service areas are provided onsite for each residential unit

Natural Hazards:

- d. Good ground as per NZS3604:2011 was not found on site given the identified liquefaction potential. Councils Consultant Geotechnical Engineer has reviewed the submitted geotechnical report and is satisfied that provided the recommendations of the Geotech report (TC2 type foundations or other Specific Engineer Designed Foundations) are adopted, the proposal will not result in a significant risk from natural hazards.

Transportation:

- e. While the proposal infringes standards relating to number of vehicle crossings and distance between vehicle crossings, the safety and efficiency of the wider road network and the operation of existing crossings are not adversely affected given the site distances achieved and low speed roading environment.

Earthworks:

- f. The existing site profile will not change. Proposed consent conditions will provide for erosion and sediment management. These requirements will ensure that no temporary adverse effects will arise.

Three Waters Infrastructure:

- g. The proposal has demonstrated how efficient use will be made of water and how stormwater will be managed to avoid adverse effects on existing infrastructure and on the wider environment. Connections will be required to the public water and wastewater reticulation network and engineering requirements for water, wastewater and stormwater (permeable pavers and detention) will ensure that the development will be adequately provided with services when completed.

Overall:

- h. Council has adopted – in accordance with s42A(1B) – the applicants assessment under 104 of the Act, finding that the actual and potential adverse effects on the environment of granting consent are acceptable as the proposal is consistent with the relevant objectives and policies and assessment criteria, and will promote the sustainable management of natural and physical resources.

Advice Notes

- That compliance in all other respects with Council Bylaws, all relevant Acts, Regulations, and rules of law be met.
- If this property is on-sold to a new owner(s) please ensure that a copy of this resource consent is forwarded to the new owner(s).
- This Resource Consent is not a Building consent. A Building Consent may also be required. Please contact Council's Building Unit on 838 6677 for information on Building Consent matters.
- The onus rests with the consent holder to demonstrate that completed works meet Council requirements and accepted engineering standards. Therefore, developers should employ suitably qualified and experienced contractors and maintain records of the quality control process.
- All operations affecting in-service Hamilton City Council water, wastewater or stormwater pipelines are to be carried out by Hamilton City Council staff (City Delivery Unit) unless specific approval is given as outlined in the HCC Infrastructure Technical Specifications.

- The consent authority has no direct or indirect involvement in the assessment or approval of any of the works or costs associated with connecting to a network utility service electricity, telecommunications reticulation and where applicable, gas.
- All required vehicle crossing inspections shall be completed to the satisfaction of HCC Infrastructure Coordinator. Application shall be submitted for acceptance by HCC Infrastructure Coordinator. Note: For the application form and more details please follow <https://www.hamilton.govt.nz/our-services/transport/maintainingimproving/Pages/Vehicle-Entrance-Maintenance.aspx>
- Levels, locations and dimensions of works shown on the Council City Viewer may not be accurate due to circumstances not notified to Council. A physical check following in accordance with Council standard and policy should be made on all levels, locations and dimensions before starting design or works.
- Developers should not rely on information provided in HCC's Three Waters GIS to confirm the location, size, depth, etc of any existing Three Waters assets. Information within the GIS should not be relied on to prepare engineering plans.
- Stormwater and wastewater – field verification of existing asset locations and size including MHs, pipe diameters, pipe invert elevations, etc shall be completed and provided as part of engineering plan submissions. Also verification of asset condition with CCTV inspections. All field information to be verified to survey grade accuracy including location coordinates for MHs. This includes a survey's report/plans showing the required information and the surveyor's registration/license details. Also CCTV inspection digital video and associated report.
- Water – field verification of existing asset locations and pipe diameters, other information– e.g. valves, hydrants, etc - to survey grade accuracy should be completed and provided as part of engineering plan submissions. This includes a survey's report/plans showing the required information and the surveyor's registration/license details.
- For all existing assets – survey report/plans showing location, depth and size of any existing three waters assets located along or within the section being developed should be completed and provided as part of engineering plan submissions.
- The following street numbering has been determined in accordance with the Australian/New Zealand Standard AS/NZS 4819:2011 Rural and urban addressing and **must be adhered to**:
 - Lot 1 shall be known as S Aileen Place, Hamilton
 - Lot 2 shall be known as 9(2) Aileen Place, Hamilton
 - PU 1 shall be known as (a) Aileen Place, Hamilton
 - PU 2 shall be known as Aileen Place, Hamilton
 - PU 3 shall be known as Aileen Place, Hamilton
 - PU 4 shall be known as Aileen Place, Hamilton
 - PU 5 shall be known as Aileen Place, Hamilton
 - PU 6 shall be known as Aileen Place, Hamilton
 - PU 7 shall be known as Aileen Place, Hamilton
 - PU 8 shall be known as Aileen Place, Hamilton
 - PU 9 shall be known as Aileen Place, Hamilton
 - PU 10 shall be known as Aileen Place, Hamilton

Development Contributions

Based on the details of this consent development contributions will be levied on the development pursuant to the Local Government Act (2002) and Council's Development Contributions Policy. An estimate of the development contribution due will be provided to you in a letter from Council's Development Contributions Officer. Council reserves the right to recalculate this estimate based on any changes in demand created after the initial estimate.

Development contributions are not a condition of resource consent and are not subject to any rights of appeal within the RMA 1991.

Yours sincerely,

s 9(2)(a)

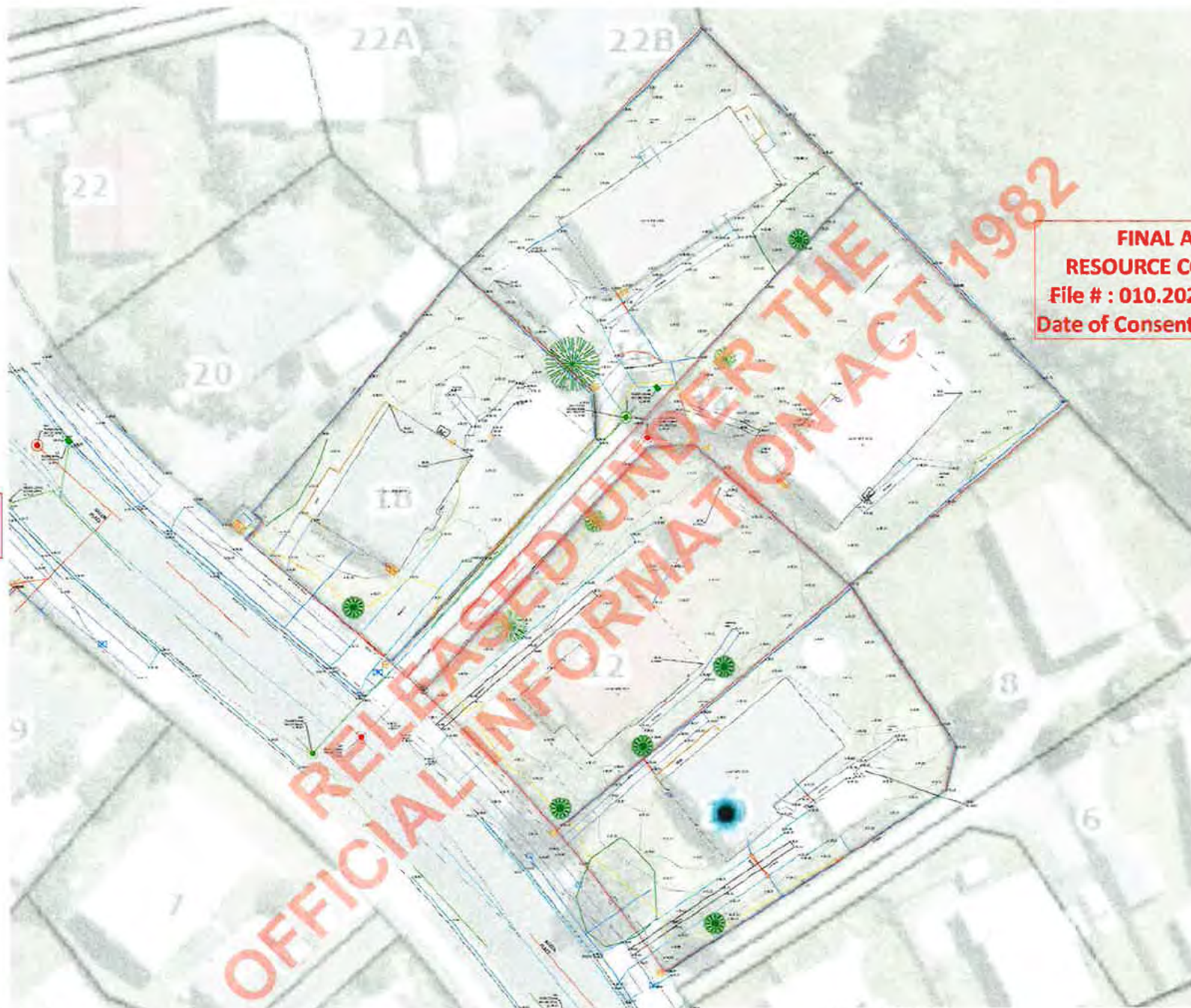
GRANT KETTLE
PLANNING GUIDANCE MANAGER

For more information please contact:

Mark Ewington
Council Building
Garden Place, Hamilton

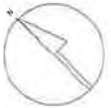
s 9(2)(a)

Website: www.hamilton.co.nz



Received
PLANNING GUIDANCE
30 JUNE 2022

**FINAL APPROVED
RESOURCE CONSENT PLANS**
File # : 010.2022.00012312.001
Date of Consent: 27 October 2022



SITE COVERAGE
Scale @ A1 1 : 200

SITE COVERAGE



SITE COVERAGE			
COVERAGE TYPE	AREA	ACTUAL COVERAGE	PERMITTED COVERAGE
BUILDING COVERAGE	633.1 m ²	85%	
IMPERVIOUS	1070.6 m ²	33%	
PERVIOUS	1550.5 m ²	46%	
TOTAL SITE AREA	3253.1 m ²		

SITE COVERAGE - INDIVIDUAL LOTS

LOT NUMBER	COVERAGE
PU1	15.04%
PU2	15.32%
PU3	38.87%
PU4	28.05%
PU5	27.28%
LOT3	22.50%
LOT4	19.82%
PU5	15.34%
PU7	16.87%
PU8	24.11%
PU9	42.44%
PU10	15.32%



PERVIOUS / IMPERVIOUS AREA
Scale @ A1 1 : 200

SITE COVERAGE



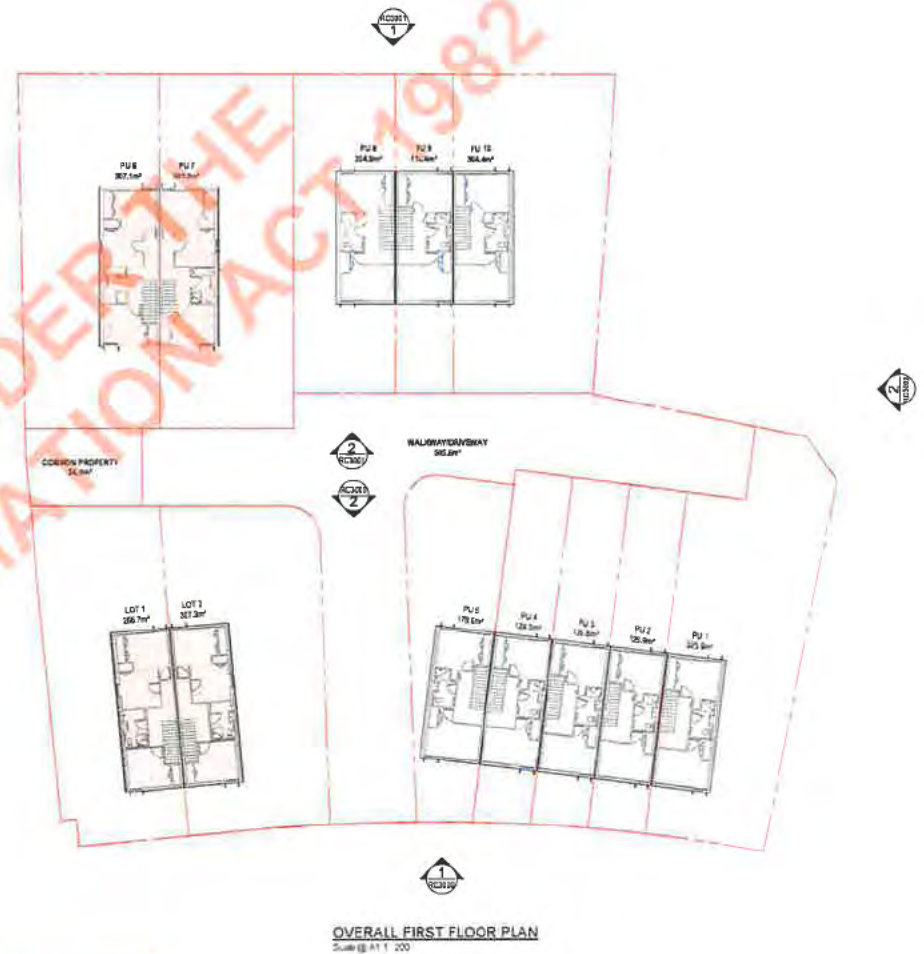
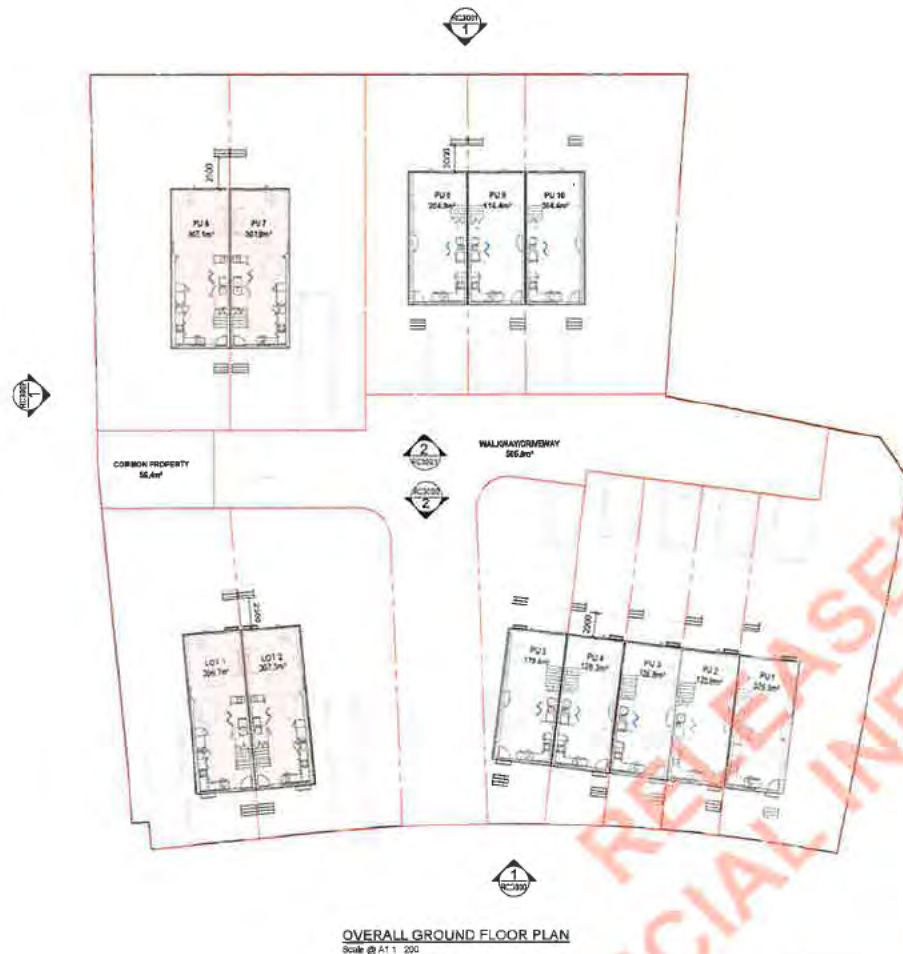
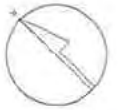
PERVIOUS / IMPERVIOUS AREAS			
Name	Area	Actual Coverage	Permitted Coverage
IMPERVIOUS	1706.6 m ²	52%	
PERVIOUS	1550.5 m ²	46%	
TOTAL SITE AREA	3253.1 m ²		33% MIN

PERVIOUS AREAS - INDIVIDUAL LOTS

LOT NUMBER	COVERAGE
PU1	87.50%
PU2	25.59%
PU3	25.18%
PU4	28.85%
PU5	52.76%
LOT3	54.63%
LOT4	53.80%
PU6	63.29%
PU7	55.42%
PU8	51.35%
PU9	26.23%
PU10	65.38%

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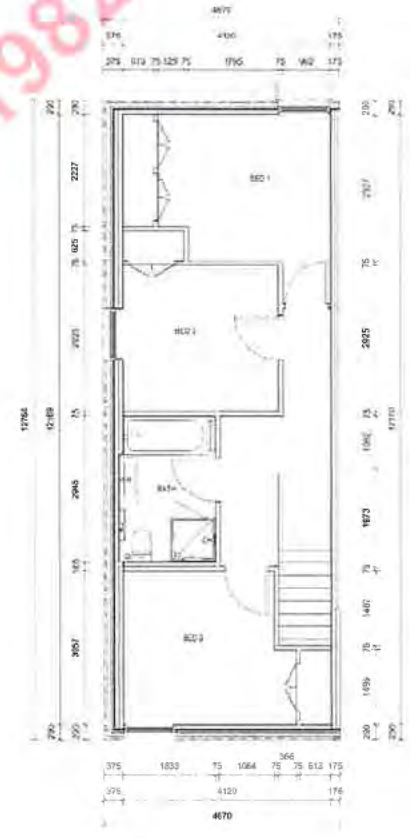
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TYPE - 2 BEDROOM - FIRST FLOOR PLAN
Scale @ A1 1:50



TYPE - 3 BEDROOM - GROUND FLOOR PLAN
Scale @ A1 1:50



TYPE - 3 BEDROOM - FIRST FLOOR PLAN
Scale @ A1 1:50

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SOUTH ELEVATION
Scale @ A1:1: 100

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SITE INT. NORTH ELEVATION
Scale @ A1:1: 100

Received
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30 JUNE 2022



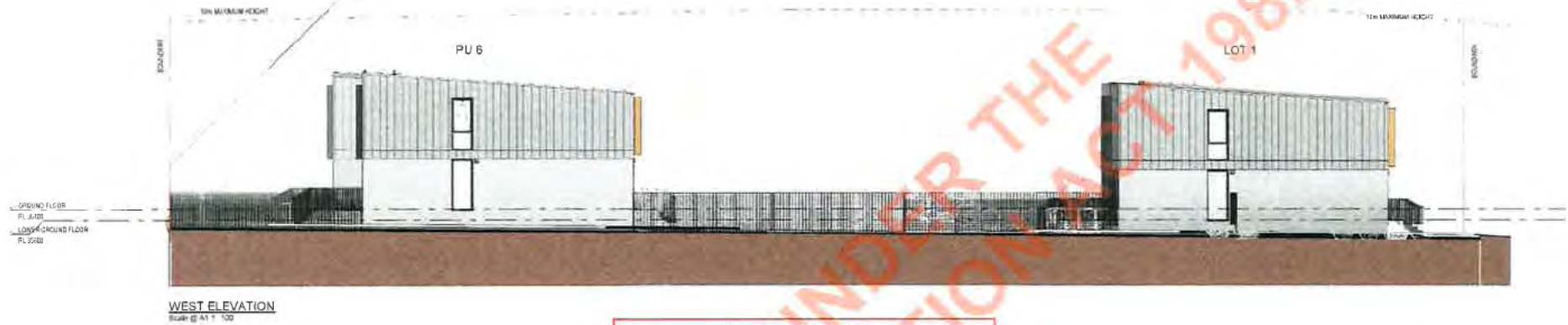
NORTH ELEVATION
Scale @ 1:100

FINAL APPROVED
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SITE INT. SOUTH ELEVATION
Scale @ 1:100

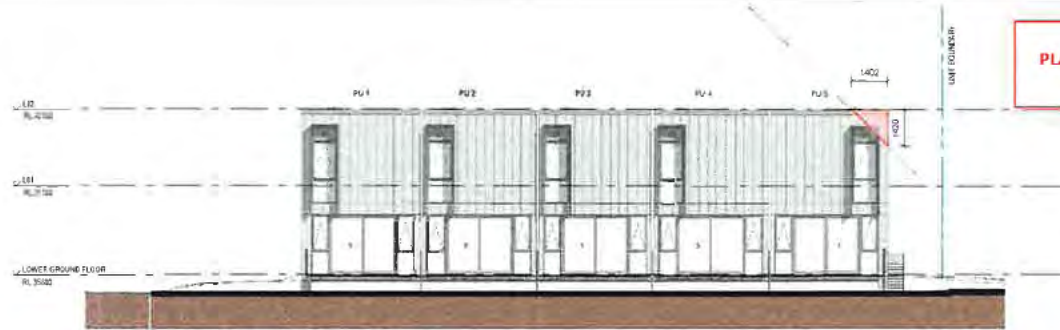
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30 JUNE 2022



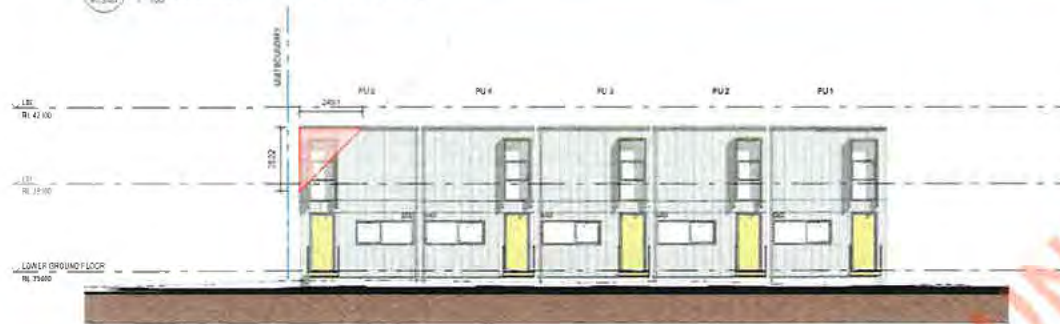
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1 INT. HIRB CHECK - LOTS 1-5 N ELEVATION



2 INT. HIRB CHECK - LOTS 1-5 S ELEVATION



4 INT. HIRB CHECK - LOTS 6-7 S ELEVATION

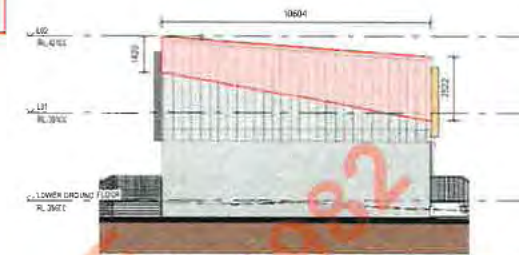


5 INT. HIRB CHECK - LOTS 6-7 N ELEVATION

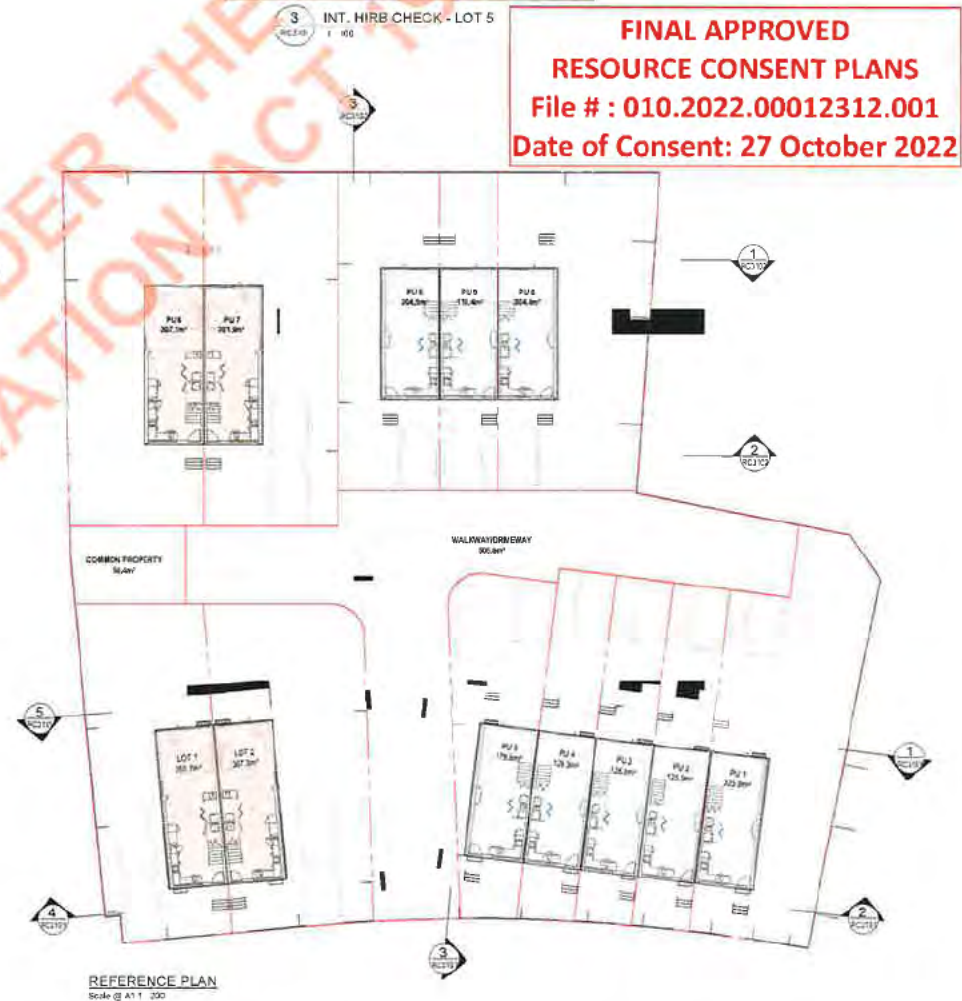
INT. BOUNDARY HIRB CHECK

PB&A
ARCHITECTS

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3 INT. HIRB CHECK - LOT 5



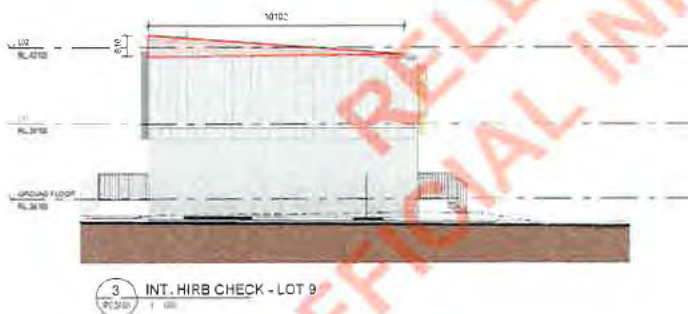
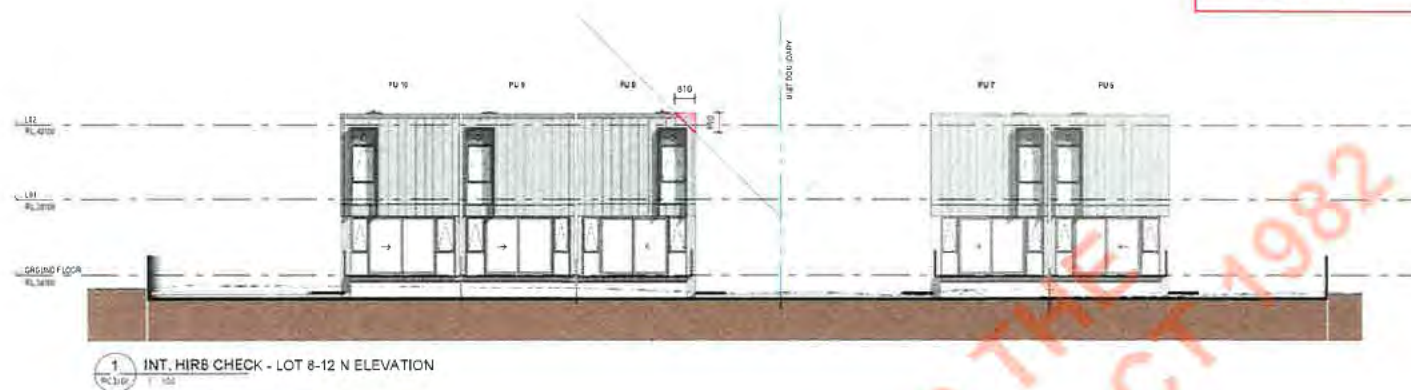
REFERENCE PLAN
Scale @ A1:1 200

RESOURCE CONSENT

FINAL APPROVED
RESOURCE CONSENT PLANS
File # : 010.2022.00012312.001
Date of Consent: 27 October 2022

TRANCHE 1 993-RC3101
s 9(2)(a) Aileen Place, Nanton,
HAMILTON
KAINGA ORA
28/08/22
C

Received
PLANNING GUIDANCE
30 JUNE 2022



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File # : 010.2022.00012312.001
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PLANNING GUIDANCE
30 JUNE 2022

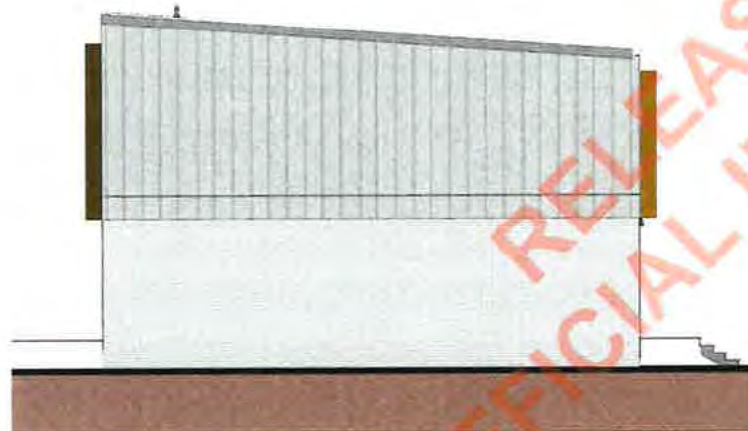


TYPE - 2 BEDROOM FRONT
Scale @ A1 1 : 50



TYPE - 2 BEDROOM BACK
Scale @ A1 1 : 50

**FINAL APPROVED
RESOURCE CONSENT PLANS**
File # : 010.2022.00012312.001
Date of Consent: 27 October 2022



TYPE - 2 BEDROOM SIDE
Scale @ A1 1 : 50



METAL ROOF



METAL CLADDING & JOINERY SURROUND



DECKING



BRICK CLADDING OPTIONS



ALUMINIUM/TIMBER WINDOW SCREEN



ENTRY DOOR

Received
PLANNING GUIDANCE
30 JUNE 2022



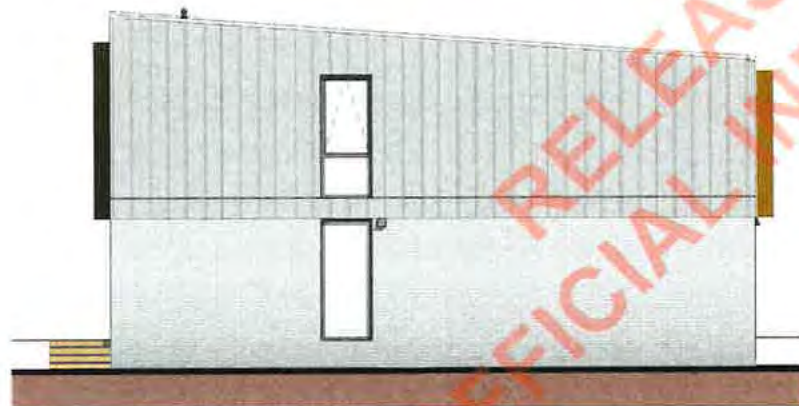
TYPE - 3 BEDROOM FRONT
Scale @ A1 1:50

TIMBER WINDOW SURROUND



TYPE - 3 BEDROOM BACK
Scale @ A1 1:50

FINAL APPROVED
RESOURCE CONSENT PLANS
File # : 010.2022.00012312.001
Date of Consent: 27 October 2022



TYPE - 3 BEDROOM SIDE
Scale @ A1 1:50



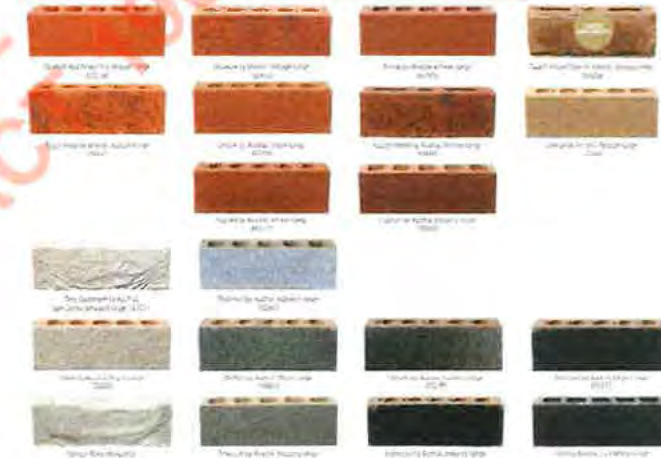
METAL ROOF



METAL CLADDING & JOINERY SURROUND



DECKING



BRICK CLADDING OPTIONS



ALUMINIUM/TIMBER WINDOW SCREEN



ENTRY DOOR

Received
PLANNING GUIDANCE
30 JUNE 2022

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File # : 010.2022.00012312.001
Date of Consent: 27 October 2022



HIRB CHECK
Scale: 1:50

PB&A
ARCHITECTS
2000, 2100, 2200, 2300, 2400, 2500, 2600, 2700, 2800, 2900, 3000, 3100, 3200, 3300, 3400, 3500, 3600, 3700, 3800, 3900, 4000, 4100, 4200, 4300, 4400, 4500, 4600, 4700, 4800, 4900, 5000, 5100, 5200, 5300, 5400, 5500, 5600, 5700, 5800, 5900, 6000, 6100, 6200, 6300, 6400, 6500, 6600, 6700, 6800, 6900, 7000, 7100, 7200, 7300, 7400, 7500, 7600, 7700, 7800, 7900, 8000, 8100, 8200, 8300, 8400, 8500, 8600, 8700, 8800, 8900, 9000, 9100, 9200, 9300, 9400, 9500, 9600, 9700, 9800, 9900, 10000

HIRB CHECK

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RESOURCE CONSENT

TRANCHE 1
s 9(2)(a) Aileen Place, Newton,
HAMILTON
KAINGA ORA
993-RC3300
28/10/22
C



Resource Consent Landscape Package for

Kāinga Ora

s.9(2)(a) [Redacted] Aileen PI, Nawton, Hamilton

FINAL APPROVED
RESOURCE CONSENT PLANS
File # - 010.2023.000332 (2.001)
Date of Consent: 22 October 2022

Drawing Number:	Drawing Description:	Drawing Issue Date:
1353/01	- Site Location & Local Context	20/09/22
1353/02	- Site Connectivity & Interfaces	20/09/22
1353/03	- General Arrangement Landscape Plan	20/09/22
1353/04	- Planting Plan	20/09/22
1353/05	- Plant Palette	20/09/22
1353/06	- Planting Details	20/09/22
1353/07	- Hardscape Plan	20/09/22
1353/08	- Fencing Plan	20/09/22
1353/09	- Fencing Details 01	20/09/22
1353/10	- Fencing Details 02	20/09/22

greenwoodassociates.co.nz

Waiwakaraka Natural Heritage Park, a short distance to the north of the site is the flagship project for biodiversity in Hamilton. It is a science-based, community-led, ecological restoration project that represents a vision of restoring the natural forest, wetland and lake ecosystems present in pre-European times. Intensive predator control allows vulnerable species to flourish in a pristine environment and spill over to other parts of the city. The Ōhau park will serve as a focus for Hamilton's wider biodiversity restoration including lakeshore, the Waikato River banks and other parks with current or potential natural values.



Dominion Park, less than 1km to the south of the site is home to one of eight spatial-themed destination playgrounds in Hamilton. Te āra Kiriāra playground has an ecological theme reflecting Hamilton's environment (particularly native birds) and includes towers, climbing equipment, sand and water play, BBQ, toilet, car parking facilities and is disability friendly. Other nearby recreation facilities include the Hamilton Zoo, Newton skatepark and Te Rapu Racecourse.

The Western Community Centre is the heart of the Newton and Ormiston community with around 7000 people visiting the centre every month. Since 1979 the WCC has been providing a wide range of support services, programmes, activities and events based from its two facilities at 46 Hyde Ave and 108 Granview Road. 90+ unique services and programmes are offered for all ages to improve the quality of life for the residents of Hamilton. 160+ community groups, clubs, organisations and individuals made over 2,000 bookings so its a busy vibrant place.



In pre-European times this land was a popular transport corridor for Māori seeking staple or taking their goods to trade across the Tasman Sea. Ngāi Kāiwi, Ngāi Ruru and Ngāi Ngāwhaitia all have links to the area, some dating back more than 800 years. The forests and peat wetlands of the area provided a place for food and resource gathering. Tōkoro, mātā, kauri flax and raupō were collected for use as building materials, waka, textiles and rope, while plants such as hīnau, kākīkaka, mīro and raupō were collected for food (berries and pollen). Birds that fed on the trees were also shared and trapped by Māori, while fish, eel and duck were caught from the lakes.



Unit frontages activate & address the street & common access way

- Private interface to neighbouring residential properties
- Visually open but secure interface to neighbouring park
- Natural surveillance from living spaces
- Intermittent natural surveillance opportunities

↔ Direct pedestrian circulation routes

↔ Vehicle circulation to access homes

Existing trees to be removed

Existing trees to be retained*

*Subject to further arboricultural investigation

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Existing frontage looking east. There is a transformer in the north western corner of the site. A small Titoki street tree is in front of 18 Aileen Pl.



Existing frontage looking north. There is a small Titoki street tree in front of 10 and 12 Aileen Pl with some more mature exotics just within the front boundary.



CRAWSHAW PARK

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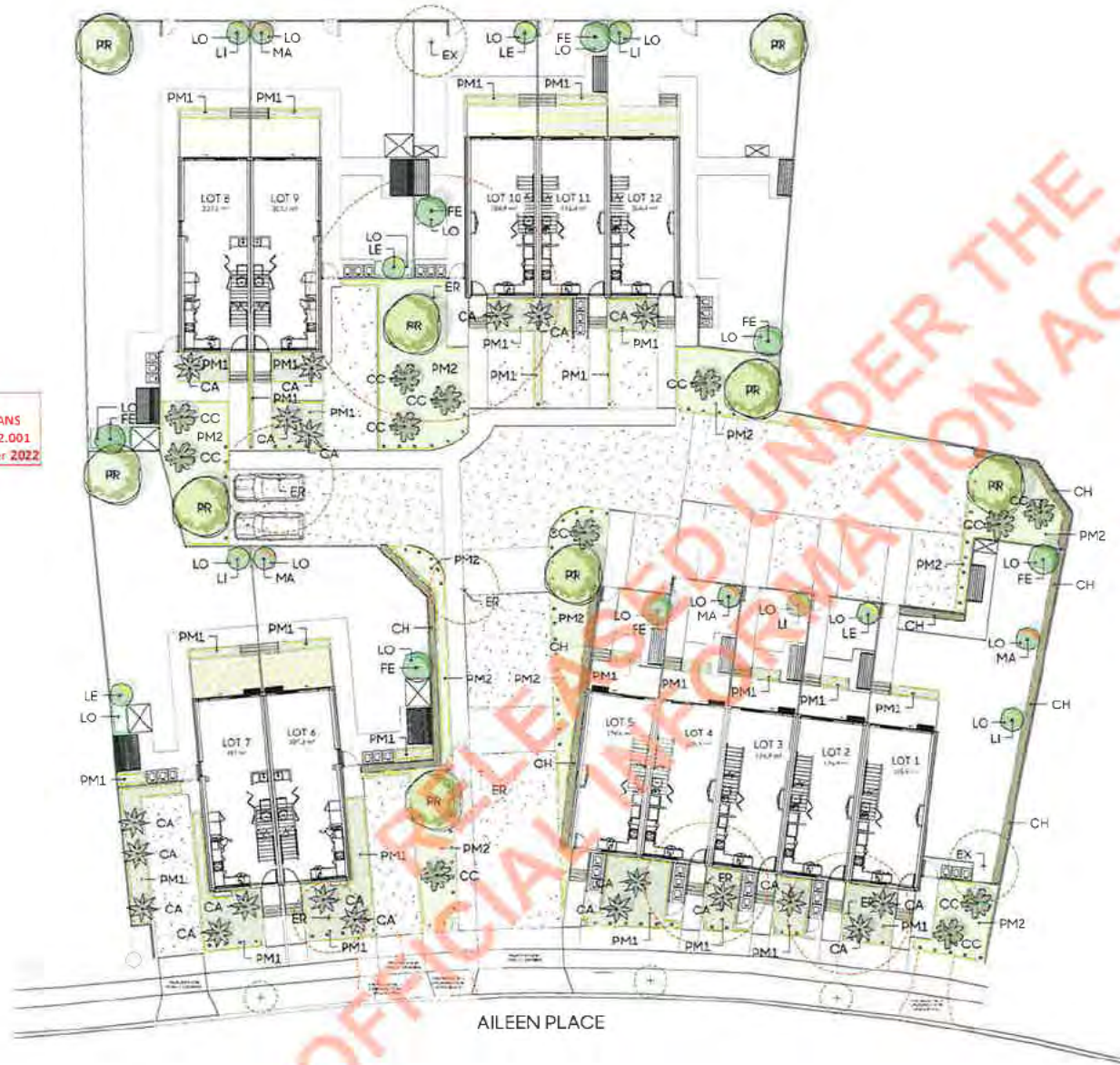
AILEEN PLACE

- Plagianthus regius
- Cordyline australis
- Low buffer shrubs
- Fruit trees
- Existing trees to REMOVE
- Existing trees to RETAIN
- Hedging
- Planting Mix 01
- Planting Mix 02
- Groundcovers
- Standard concrete
- Exposed aggregate concrete
- Decking
- Permeable pavers (driveway)
- Permeable pavers (pathway)
- Set pavers
- Lawn
- Fencing < 1.2m
- Fencing > 1.2m
- Gates
- Wheelie bins
- Washing lines

Revised
PLANTING SCHEDULE
05 October 2022

CRAWSHAW PARK

FINAL APPROVED
RESOURCE CONSENT PLANS
File #: Q10.2022.00012312.001
Date of Consent: 27 October 2022



AILEEN PLACE

Code	Name	Common Name	FE	Spacing	Quantity
PR	<i>Platanus regius</i>	manatu	15	As Shown	9
CA	<i>Coryline australis</i>	p kopua	15	As Shown	20
FE	<i>Acacia salicifolia</i>	leipa	18	As Shown	7
LI	<i>Citrus × sinensis</i>	lemon	18	As Shown	4
LI	<i>Citrus × aurantiifolia</i>	lemon lime	18	As Shown	5
MA	<i>Citrus × reticulata</i>	mandarin	18	As Shown	4
CC	<i>Carex dichostachya</i>	korokio	5	As Shown	12
CH	<i>Coprosma 'Hagley Green'</i>	coprosma hagley green	5	100mm	80
LO	<i>Lobelia angulata</i>	manakoriko	3	100mm	63
PM1 Planting Mix 01					
20%	<i>Ardisia ciliolata</i>	Heulifone	5	100mm	200
40%	<i>Carex dichostachya</i>	south island carex	3	100mm	200
20%	<i>Myrsine laetevirens</i>	solihuehue	3	100mm	55
PM2 Planting Mix 02					
40%	<i>Chenopodium flavicans</i>	miniature ice box	5	100mm	111
40%	<i>Phormium tenax</i>	wharangi	3	100mm	111
20%	<i>Carpodacus serratus</i>	pusiawaka	3	150mm	99
EX Existing trees to REMAIN					
CH Existing trees to REMOVE					



SPECIMEN TREES



Platanthus regius



Cordyline australis



Acca sellowiana



Citrus × limon



Citrus × aurantifolia

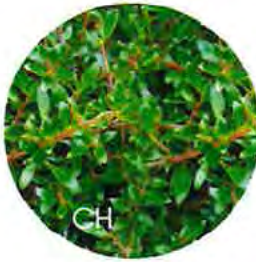


Citrus × reticulata

LOW BUFFER SHRUBS, HEDGING & GROUND COVERS



Corokia cotoneaster



Coprosma 'Hagley Green'



Lobelia angulata

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RESOURCE CONSENT PLANS
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PLANTING MIX 01



Asteria nervosa 'Westland'



Carex buchananii



Muehlenbeckia axillaris



Chionochloa flauicans

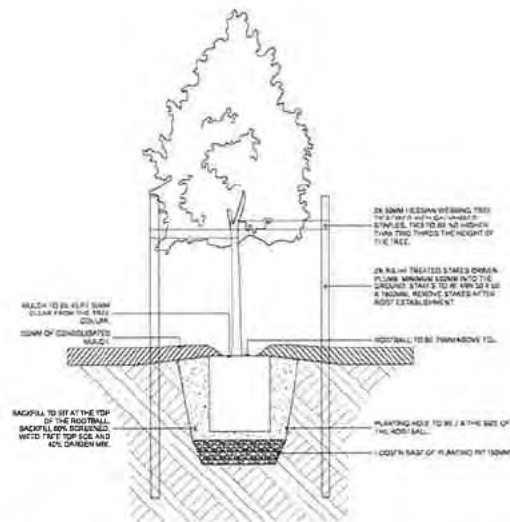


Phormium cookianum

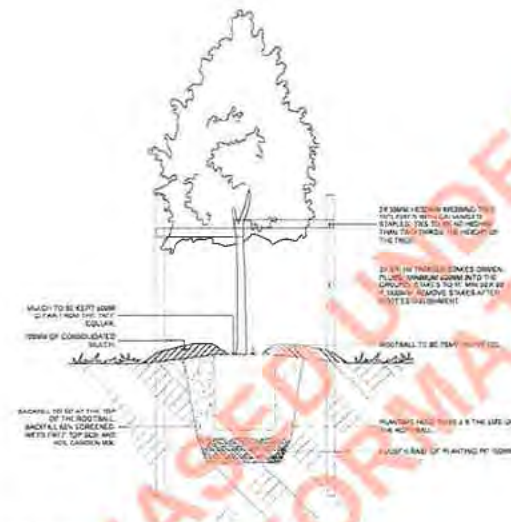


*Coprosma serratus
prostrata*

PLANTING MIX 02



PD-01: TREE IN GARDEN 1:15 @ A1, 1:30 @ A3



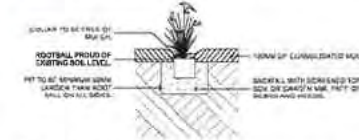
PD-02: TREE IN LAWN 1:15 @ A1, 1:30 @ A3



PD-03: PB12 SHRUB IN GARDEN 1:15 @ A1, 1:30 @ A3



PD-04: PB5 SHRUBS IN GARDEN 1:15 @ A1, 1:30 @ A3



PD-05: PB3 GRASSES IN GARDEN 1:15 @ A1, 1:30 @ A3



PD-06: GARDEN BEDS 1:15 @ A1, 1:30 @ A3

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Standard concrete, broom finish

Exposed aggregate concrete, 48g black oxide per m²

Low

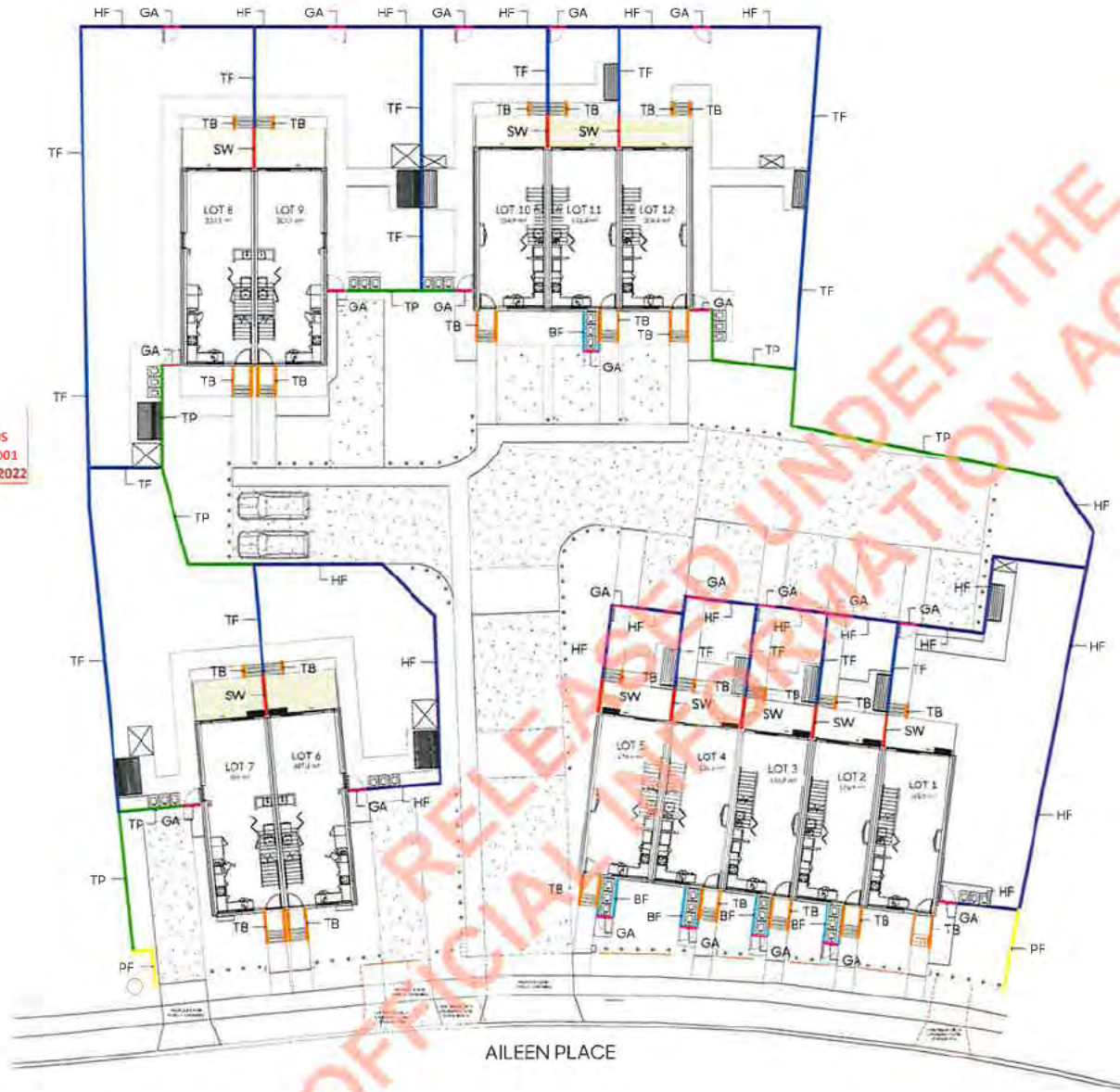


ANS 2.001 or 2022

PRELIMINARY INFORMATION

AILEEN PLACE

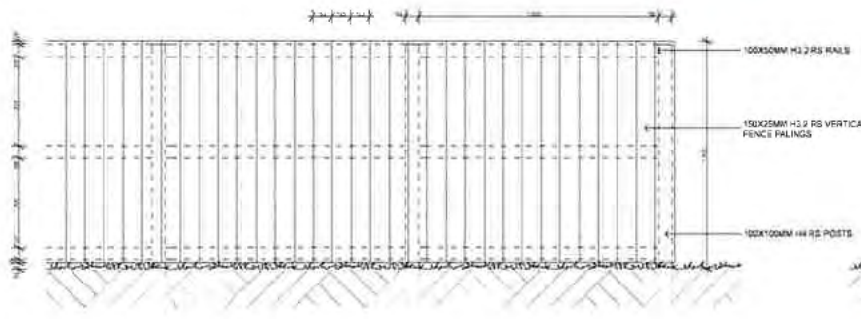
CRAWSHAW PARK



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RESOURCE CONSENT PLANS
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Code	Name	Specification
TF	Timber paling fence	1.8m high, 150x25mm H3.2 vertical palings, no spacing, no stain
TP	Timber paling fence	1.8m high, 150x25mm H3.2 vertical palings, no spacing, stain with Resene Woodsmen Tint
PF	Timber paling fence	1.2m high, 150x25mm H3.2 vertical palings, no spacing, stain with Resene Woodsmen Tint
BF	Timber batten fence	1.2m high, 50x30mm H3.2 D45 vertical battens, 25mm spacing, stain with Resene Woodsmen Tint
HF	Horizontal slatted timber fence	1.35m high, 100x20mm wide H3.2 horizontal slats, 10mm spacing, 0.45m high, 50x20mm wide H3.2 horizontal slats, 50mm spacing, stain with Resene Woodsmen Tint (total fence height 1.8m)
SW	SmartWall	1.8m Boundaryline SmartWall vertical palings, stain with Resene Woodsmen Tint
TB	Timber batten fence	1.8m high, 50x30mm H3.2 D45 vertical battens, 50mm spacing, stain with Resene Woodsmen Tint
GA	Gate to match fence intersecting	Self-closing hinges, child proof latch, discourages climbing





FD-TF: 1.8M TIMBER PALING FENCE (NO STAIN) 1:20@A1 / 1:40@A3



FD-TP: 1.8M TIMBER PALING FENCE (STAIN FINISH) 1:20@A1 / 1:40@A3

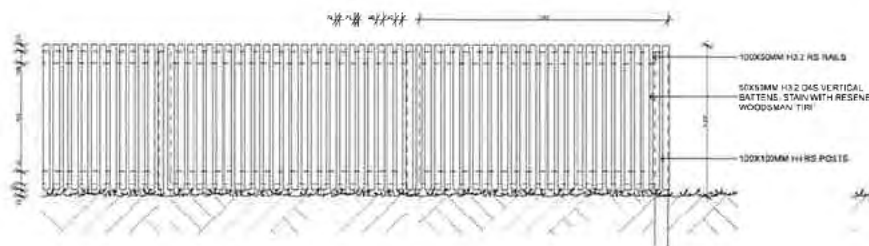


FD-PF: 1.2M TIMBER PALING FENCE (STAIN FINISH) 1:20@A1 / 1:40@A3

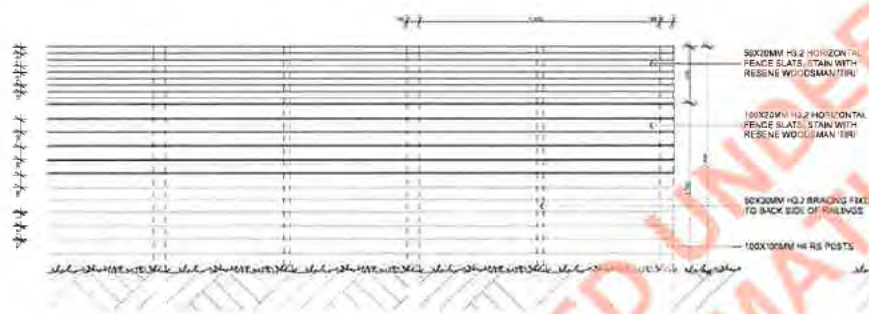


NOTE: ALL FENCE POSTS TO BE IN 300MM DIAMETER CONCRETE ENCASEMENT TO A MINIMUM DEPTH THAT IS 1/3 OF THE TOTAL FENCE HEIGHT UNLESS OTHERWISE SPECIFIED

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FD-BF: 1.2M TIMBER BATTEN FENCE (STAIN FINISH) 1:20 @ A1 / 1:5 @ A3



FD-HF: 1.35M HORIZONTAL TIMBER SLAT FENCE WITH 0.45M OPEN SLAT TOP (TOTAL HEIGHT 1.8M, STAIN FINISH) 1:20 @ A1 / 1:5 @ A3



FD-SW: 1.8M BOUNDARYLINE 'SMARTWALL' (STAIN FINISH) 1:20 @ A1 / 1:5 @ A3



NOTE: ALL FENCE POSTS TO BE IN 300MM DIAMETER CONCRETE ENCASEMENT TO A MINIMUM DEPTH THAT IS 1/3 OF THE TOTAL FENCE HEIGHT UNLESS OTHERWISE SPECIFIED

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